

# MOOR HOUSE

MOORGATE

120 LONDON WALL  
LONDON  
EC2

[WWW.MOOR-HOUSE-LONDON.COM](http://WWW.MOOR-HOUSE-LONDON.COM)

**Deka**  
Immobilien



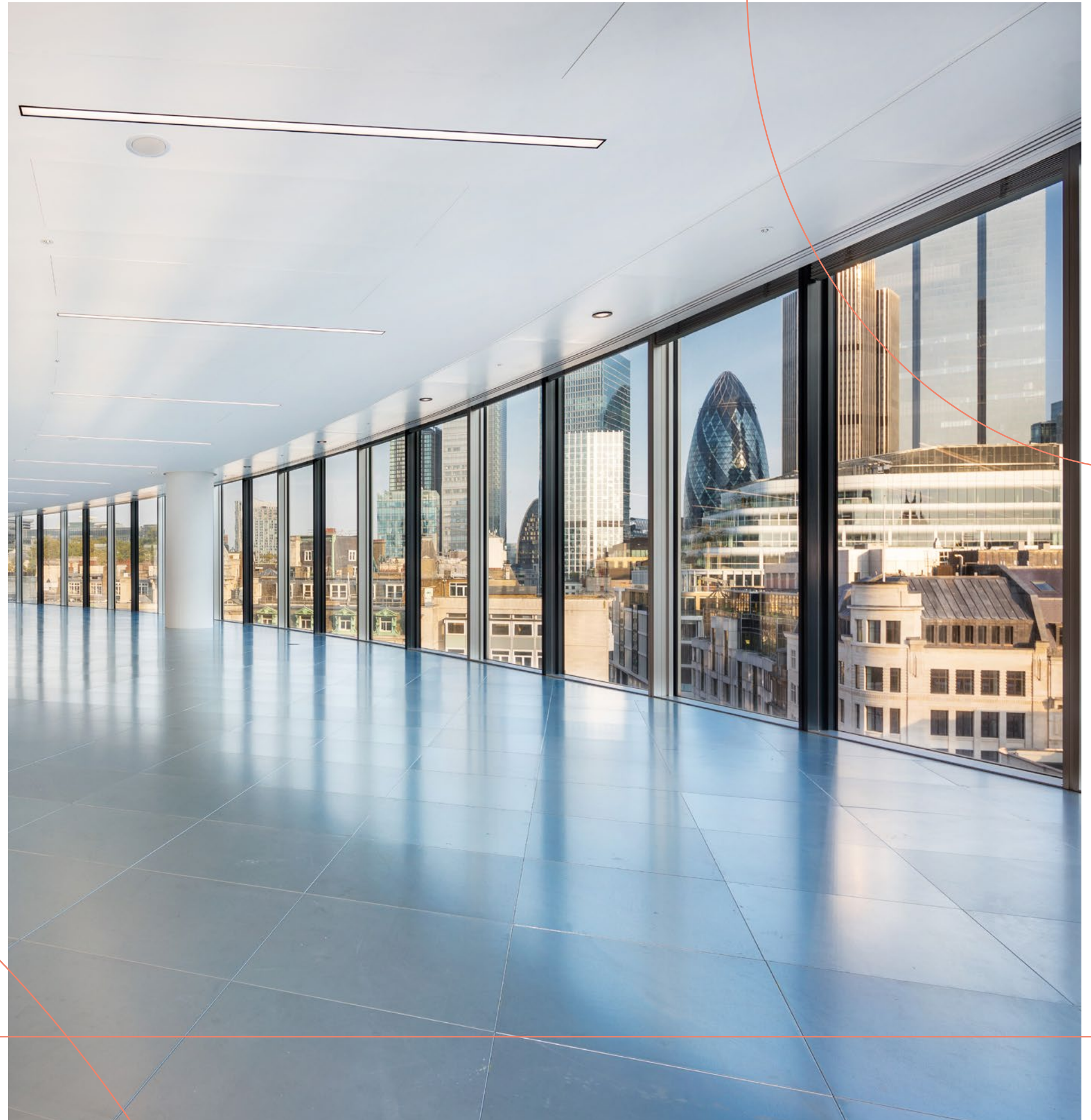




## INTRODUCTION

Moor House occupies a prime island site on the north side of London Wall, at its junction with Moorgate. The building benefits from exceptional communications being approximately 20 metres from Moorgate station (Elizabeth Line, Mainline and Underground). Bank and Liverpool Street stations are also located within a short walking distance.

Moor House is one of the most prominent and high profile buildings in the City of London. Designed by the internationally renowned Foster & Partners, the building comprises approximately 314,000 sq ft (29,200 sq m) of Grade A accommodation arranged over basement, lower ground, ground and 16 upper floors.







BARBICAN

GOSWELL

BARBICAN

SILK STREET

MILTON STREET

MOOR LANE

CHISWELL STREET

MOORGATE

Flight Club

FINSBURY SQUARE

EARL STREET

PINDAR STREET

APPOLD STREET

EXCHANGE SQUARE

Piccolino

South Place Hotel

Angler

Kitty Hawk

Comptoir Libanais

Gaucha

Yauatcha

The Botanist

José Pizzaro

1 Rebel

Fitness First

Mrs. Fogg's

LIVERPOOL STREET

Leonidas

The Ivy City Garden

Duck & Waffle

Museum of London

Barbie Green

Wrap it up

LONDON WALL PLACE

LONDON WALL

Coco di Mama

Bierschenke

Kobox

Chilango

Caffè Nero

Chipotle

City Izakaya

Pret

The Gable

El Vino

Black Sheep Coffee

Apex Hotel

SOHO Coffee

Balls Brothers

City Social

Manicomio

GRESHAM STREET

GUILDHALL

Enoteca da Luca

Hawksmoor Guildhall

Ravello Coffee

Natural Kitchen

Coya

Le Relais de Venise

M Threadneedle St

The Ned

BANK

DLR

BANK OF ENGLAND

Royal Exchange

CORNHILL

LEADENHALL STREET

OLD JEWRY

LOTHBURY

CHEAPSIDE

WATLING STREET

ST PAUL'S

ST PAUL'S CATHEDRAL

6

7





## AMENITIES

The local area has undergone continuous transformation and now benefits from the curated green spaces of London Wall Place and nearby Finsbury Circus. In addition, the locale boasts a wide food and drinks offering from Fox to Hawksmoor, with a host of new retail and restaurant destinations, such as Eataly, within walking distance at Broadgate.



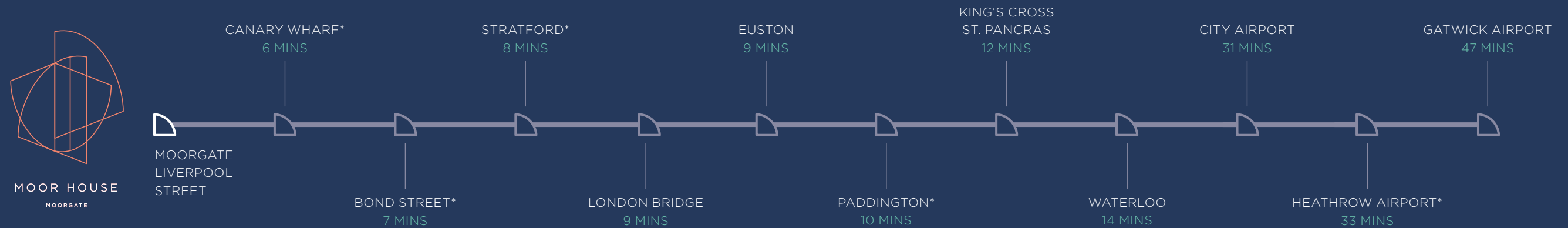


## WALKING DISTANCES

MOORGATE	2 MINS
BANK	6 MINS
LIVERPOOL STREET	10 MINS
ST PAUL'S	11 MINS
OLD STREET STATION	13 MINS



## TRAVEL TIME FROM MOORGATE



\* Using Elizabeth Line









## UPGRADED RECEPTION AND CYCLING FACILITIES COMING SOON

The building will benefit from an upgraded reception, designed by KKS, and delivered in Q1 2021.

The cycling and shower facilities are also being renewed and enhanced, boosting provision to offer occupiers a best in class end-of-trip experience.



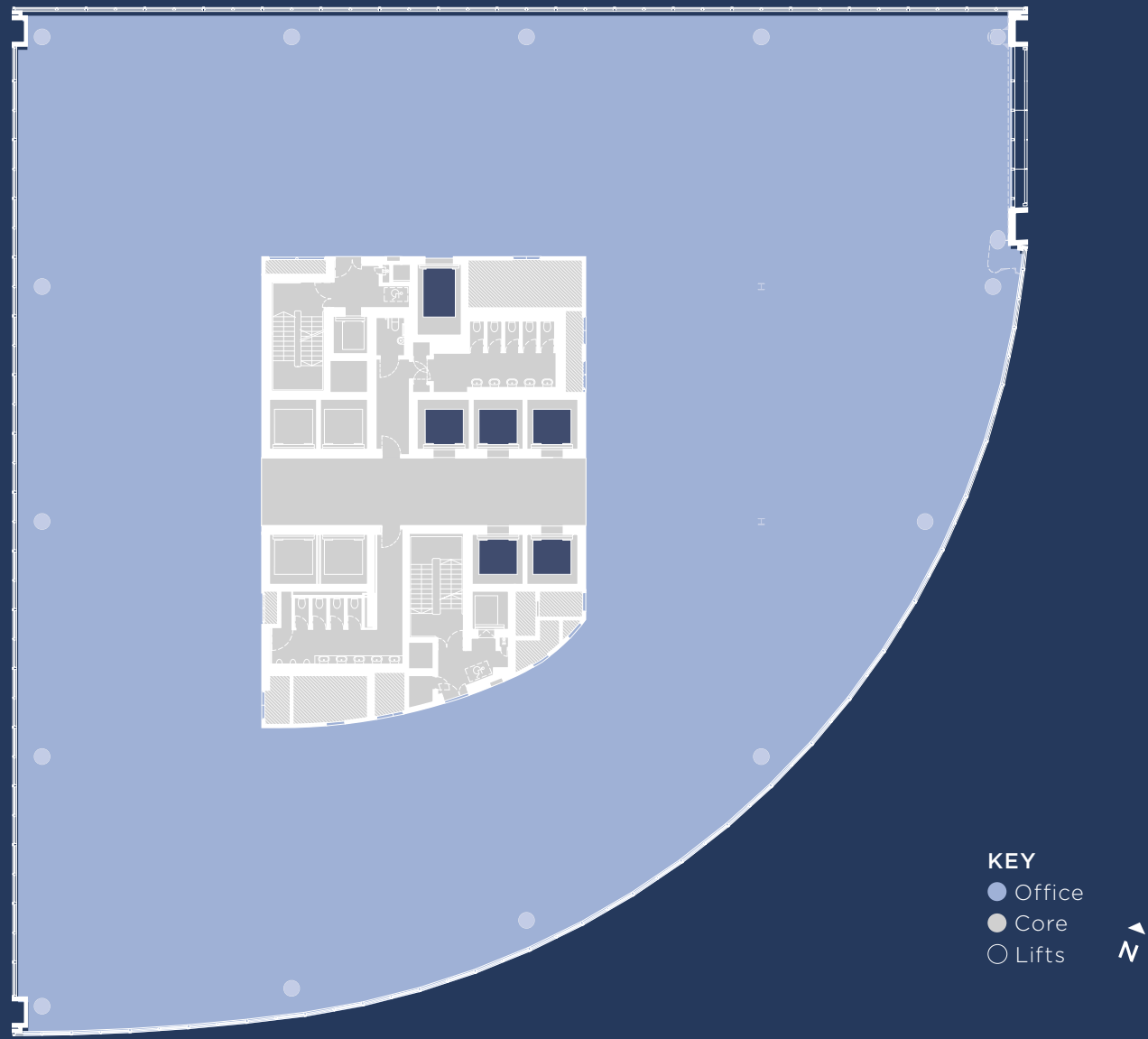
## NEWLY REFURBISHED OFFICE SPACE FROM 19,564 SQ FT IN THE HEART OF THE CITY CORE

The 5th floor has been substantially refurbished to provide high quality Grade A accommodation, with a contemporary semi-exposed ceiling finish throughout. The soon to be completed 9th floor will be refurbished to the same high-class specification.



## FIFTH FLOOR

20,261 SQ FT / 1,882.5 SQ M

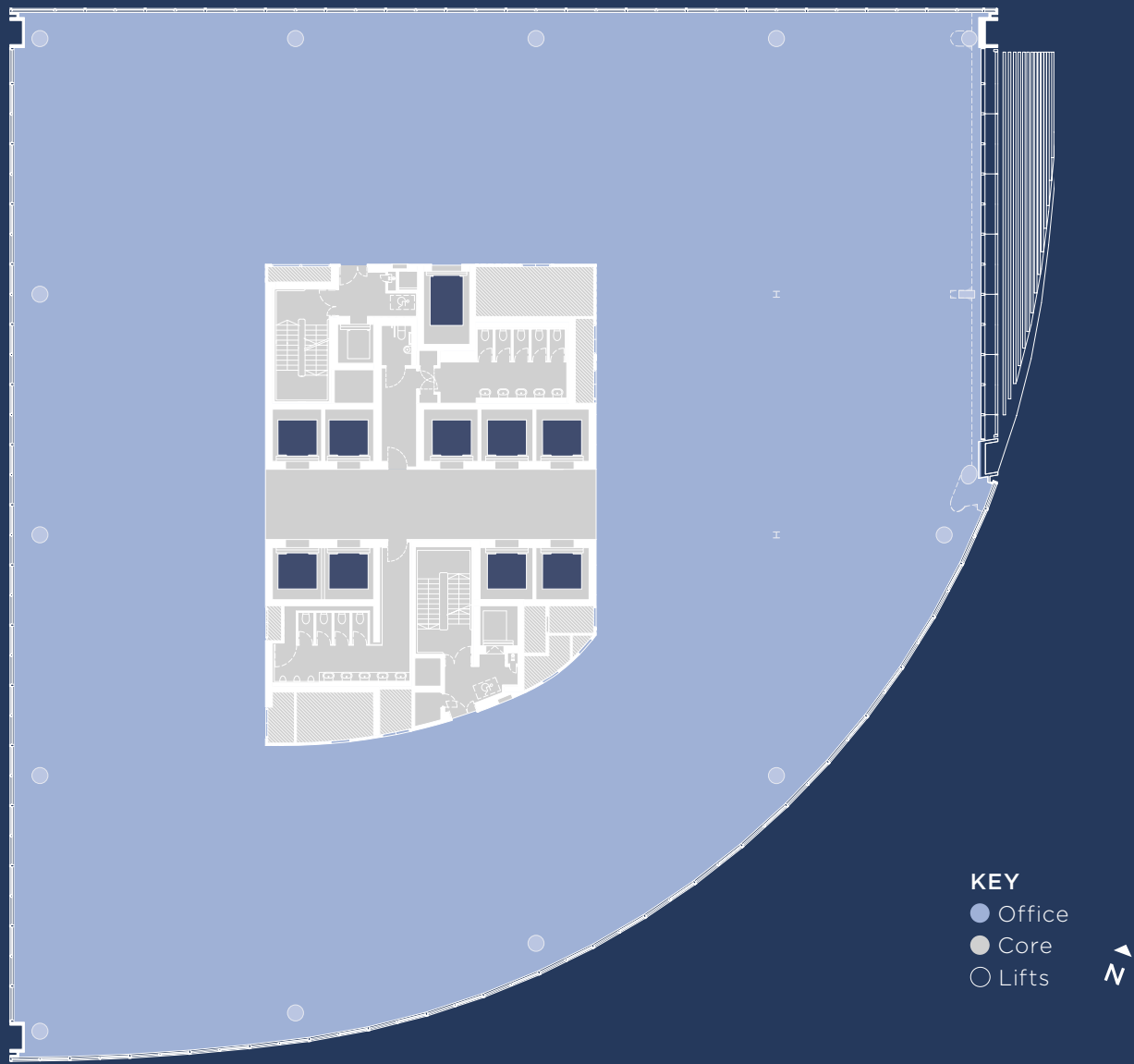


LONDON WALL

Floor plans not to scale, for indicative purposes only.

## NINTH FLOOR

19,564 SQ FT / 1,817.5 SQ M

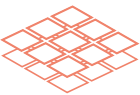


LONDON WALL

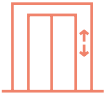
## SPECIFICATION



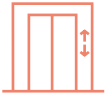
Four-pipe  
fan-coil  
air-conditioning



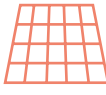
Semi-exposed  
services ceiling  
finish



9 x 21 passenger lifts  
serving the ninth floor  
(5 serving the fifth floor)



1 x 2,000 kg  
goods lift and  
2 fireman's lifts



Raised  
access floor  
(100mm)



2.775-3.75m  
floor-to-ceiling  
height (nominal)



2 x 2 MVA (HV)  
generators and  
1 x 1.5 MVA (LV)  
generator



LED lights



1:9 sq m  
occupational  
density



Bike Store



New Shower  
Facilities



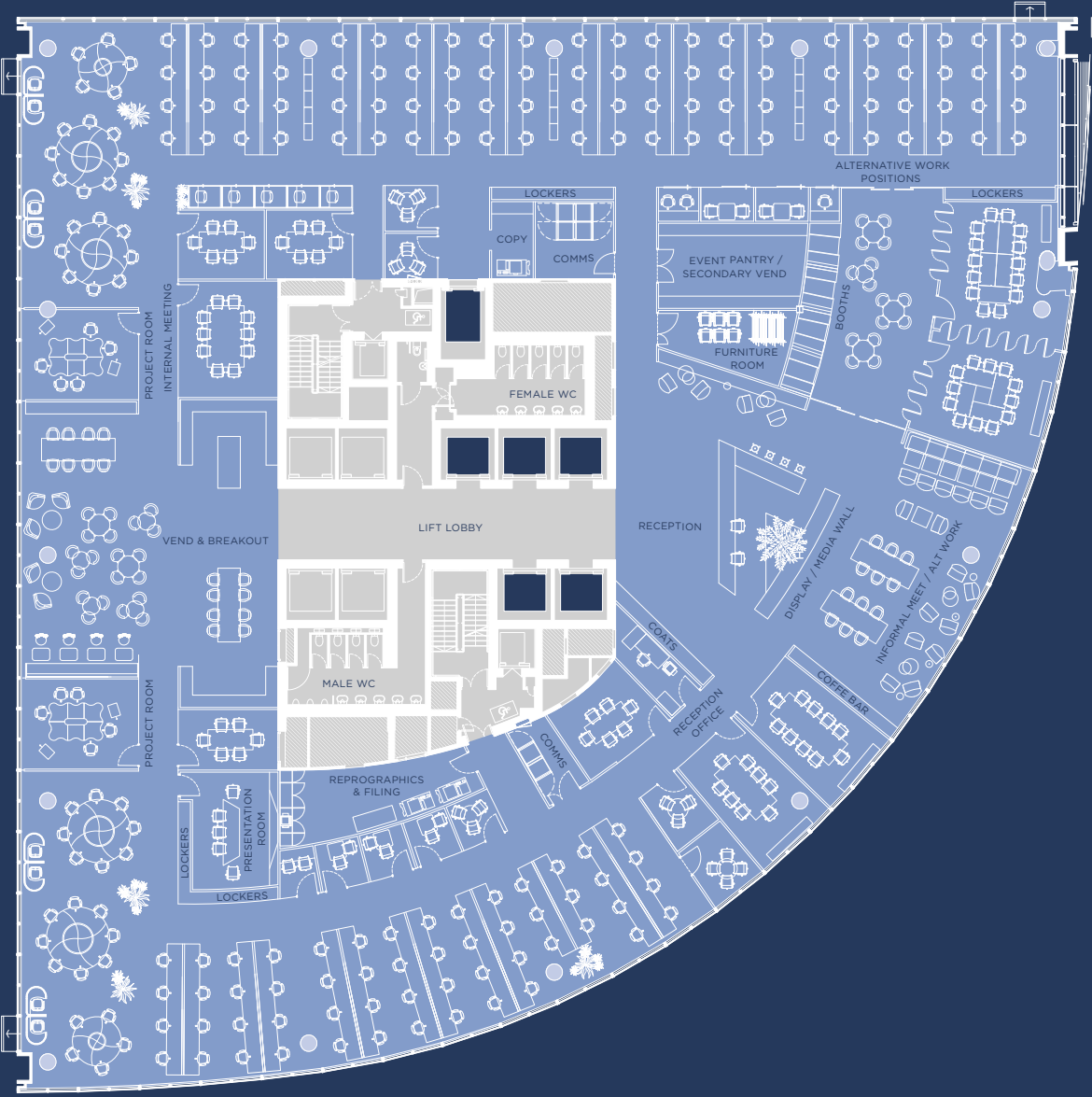
Sensor taps



FIFTH FLOOR - OPEN PLAN - TECH MEDIA

20,261 SQ FT / 1,882.5 SQ M

WORKSTATIONS		CLIENT SUITE		INTERNAL MEETING	
Open plan workstations	186	8 Seater meeting room x 2	16	3 Seater multi-functional room x 5	15
Receptionists	2	10 Seater meeting room x 1	10	6 Seater internal meeting room x 4	24
Alternate workstations	46	Multi-functional rooms x 2	26	10 Seater internal meeting room x 1	10
Total workstations	234			Project room x 2	12
Occupational density	1:8 sq m			Presentation room x 2	5
				1/2 Seater quiet pods x 21	28



LONDON WALL

KEY

Office

Core

Lifts

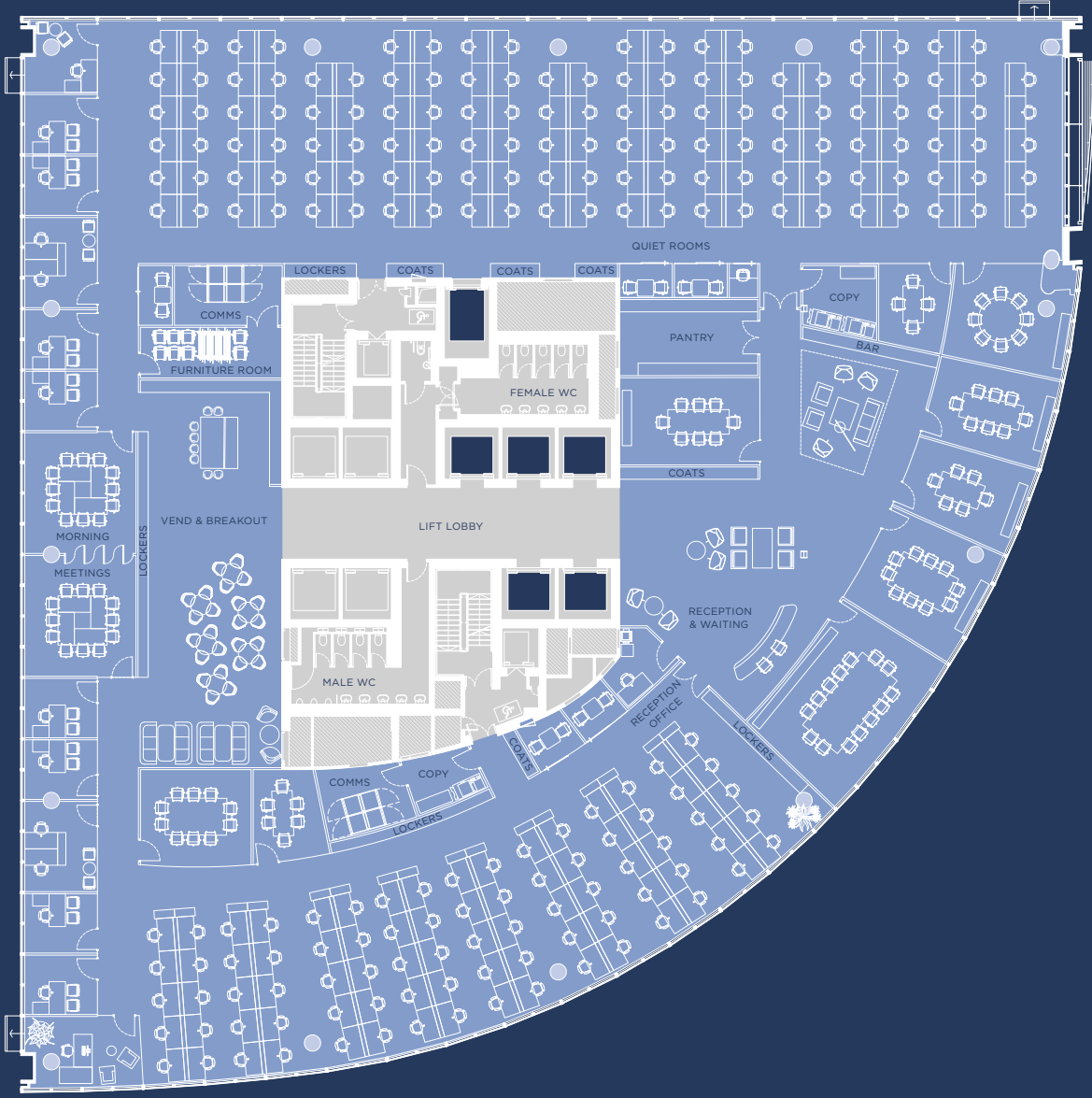
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FIFTH FLOOR - OPEN PLAN - FINANCIAL

20,261 SQ FT / 1,882.5 SQ M

WORKSTATIONS		CLIENT SUITE		INTERNAL MEETING	
Cellular offices	14	6 Seater meeting room x 1	6	12 Seater multi-functional room x 2	24
Open plan workstations	213	8 Seater meeting room x 2	16	4 Seater meeting room x 1	4
Receptionists	2	10 Seater meeting room x 1	10	6 Seater internal meeting room x 2	12
Total workstations	229	14 Seater meeting room x 1	14	8 Seater internal meeting room x 1	8
Occupational density	1:8 sq m				



LONDON WALL

KEY

Office

Core

Lifts

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MOOR HOUSE  
MOORGATE





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MOORGATE

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VIRTUAL 360° TOUR 

[my.matterport.com/show/?m=68CEG2ZPi8x](https://my.matterport.com/show/?m=68CEG2ZPi8x)

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